

## DRAFT ZONING BY-LAW AMENDMENT

As part of the Official Plan Amendment, Zoning By-law Amendment, and draft Plan of Subdivision application submitted in August 2017, the zoning by-law amendment proposed site-specific zone categories to describe the uses and built form within the Port Credit West Village. It is our opinion that the site-specific zone categories proposed in the August submission better address the uniqueness of the Site than the zone categories in the existing City of Mississauga Zoning By-law 0225-2007 and are a useful approach to implementing the Master Plan. However, City of Mississauga Staff commented on the draft zoning by-law amendment in the August 2017 submission, calling for the use of existing base zones from the in-force City of Mississauga Zoning By-law 0225-2007. This draft zoning by-law amendment addresses the City staff's comments and is a demonstration of how to create site-specific zoning using the existing base zones in Mississauga. The draft Zoning By-law Amendment requires coordination and discussion with City of Mississauga staff in order to determine the final form and content of the zoning.

### THE CORPORATION OF THE CITY OF MISSISSAUGA

#### BY-LAW NUMBER \_\_\_\_\_

A by-law to amend By-law Number 0225-2007, as amended.

4.14.2.X	Exception: RM9-X Zone A		
In a RM9-X Zone A the permitted <b>uses</b> and applicable regulations shall be as specified for a RM9 zone except that the following <b>uses</b> /regulations shall apply			
<b>Additional Permitted Uses</b>			
4.14.2.X.1	The following additional uses shall be permitted:  (1) <b>Townhouse dwelling</b> (2) <b>Street Townhouse dwelling</b> (3) <b>Parking Lot</b> (4) Sales Centre		
<b>Regulations</b>			
4.14.2.X.2	The maximum <b>floor space index</b> does not apply. The following maximum <b>gross floor area</b> applies to the entire Port Credit West Village Area as identified in Schedule 3. <div>405,000m<sup>2</sup></div>		
4.14.2.X.3.1	Maximum height for <b>buildings</b> with a flat roof shall be measured from established grade to the highest point of a flat roof but shall not include mechanical penthouses, stairways, and structures providing access to roof tops.		
4.14.2.X.3.2	Maximum height for <b>buildings</b> with a sloped roof shall be measured from established grade to the mean height level between the eaves and ridge of a sloped roof but shall not include mechanical penthouses, stairways, and structures providing access to roof tops.		
4.14.2.X.3.3	Established grade means, with reference to a <b>building, structure</b> or part thereof, the average elevation from the finished grade along the <b>front lot line</b> , and when used with reference to a <b>street</b> , means the elevation of the <b>street</b> , established by the Municipality or other designated authority.		
4.14.2.X.4	Minimum Front and Exterior Side Yard		4.0m
4.14.2.X.5	Minimum Interior Side Yard		3.0m
4.14.2.X.5.1	Where a <b>horizontal multiple dwelling</b> has a <b>height</b> between 0.0m and 10.0m and any portion of the <b>interior lot line</b> abuts a zone permitting <b>detached</b> and/or <b>semi-detached dwellings</b> . <div>4.0m</div>		
4.14.2.X.5.2	Where a <b>horizontal multiple dwelling</b> has a <b>height</b> greater than 10.0m and any portion of the <b>interior lot line</b> abuts a zone permitting <b>detached</b> and/or <b>semi-detached dwellings</b> . <div>4.0m</div>		

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4.14.2.X.6	Minimum Rear Yard	3.0m
4.14.2.X.6.1	Where a <b>rear lot line</b> , or any portion thereof, abuts a zone permitting an <b>apartment, townhouse, street townhouse, townhouse on a CEC-private road</b> , and/or <b>horizontal multiple dwelling</b> , and/or an Institutional, Office, Commercial, Employment, or Utility Zone.	4.0m
<b>MAXIMUM ENCROACHMENTS INTO REQUIRED YARDS</b>		
4.14.2.X.7.1	A <b>porch</b> inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the <b>horizontal multiple dwelling</b> .	3.0m
4.14.2.X.7.2	An awning, window, <b>chimney</b> , pilaster or corbel	0.9m
4.14.2.X.7.3	A <b>deck</b> , inclusive of stairs, <b>balcony</b> or awning, attached to a rear wall	4.5m
4.14.2.X.7.4	A <b>wing wall</b> attached to a <b>horizontal multiple dwelling</b>	7.5m
<b>MINIMUM INTERNAL SETBACKS</b>		
4.14.2.X.8.1	From a <b>horizontal multiple dwelling</b> to an <b>internal road</b> , sidewalk or visitor <b>parking space</b>	4.0m
4.14.2.X.8.2	From an awning, window, <b>chimney</b> , pilaster or corbel to an <b>internal road</b> or sidewalk	3.4m
4.14.2.X.8.3	From a rear wall of a <b>horizontal multiple dwelling</b> to a rear wall of another dwelling	12.0m
4.14.2.X.8.4	From a side wall of a <b>horizontal multiple dwelling</b> to an <b>internal road</b>	4.0m
4.14.2.X.8.5	From a side wall of a <b>horizontal multiple dwelling</b> to an abutting visitor <b>parking space</b>	4.0m
<b>ATTACHED GARAGE, PARKING AND DRIVEWAY</b>		
4.14.2.X.9.1	Minimum <b>Parking Spaces</b>	yes (1) (2) (3)
4.14.2.X.9.2	Minimum Visitor <b>Parking Spaces</b>	yes (1)
4.14.2.X.9.3	Minimum Bicycle <b>Parking Spaces</b>	yes (4)
<b>PARKING AREAS AND PARKING STRUCTURE SETBACKS</b>		
4.14.2.X.10.1	Minimum setback of a <b>parking structure</b> constructed above or partially above finished grade to any <b>lot line</b>	2.8m
4.14.2.X.10.2	Minimum setback of a <b>parking structure</b> constructed completely below finished grade to any <b>lot line</b>	0.0m
4.14.2.X.10.3	A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.	
<b>INTERNAL ROADS, AISLES AND SIDEWALKS</b>		
4.14.2.X.11	Minimum width of an <b>internal road/aisle</b>	6.0m
<b>MINIMUM AMENITY AREA AND LANDSCAPED AREA</b>		
4.14.2.X.12.1	Minimum <b>Landscaped Area</b>	30% of lot area
4.14.2.X.12.2	The provisions 14.2 and 14.3 of Table 4.14.1 contained within Part 4 of this By-law shall not apply.	
<b>ADDITIONAL PROVISIONS</b>		

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4.14.2.X.13	A temporary sales centre may be permitted for up to a period of 15 years from the date of the passing of this by-law.
4.14.2.X.14	Notwithstanding the provisions of Article 2.1.3.1 contained within Part 2 of this By-law, a lot may have frontage on a CEC-Private Road.
4.14.2.X.15	The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.
4.14.2.X.16	A temporary on-site surface pond will be permitted within the area identified in Schedule 5 for shared stormwater servicing purposes for a period up to 5 years from the date of the passing of this by-law.
4.14.2.X.17	The required number of loading spaces for uses within all lands in this zone shall be provided in accordance with Article 3.1.4 of City of Mississauga Zoning By-law 0225-2007. Additionally, for all uses within this zone, the requirement of one non-residential loading space shall be satisfied by the provision of a non-exclusive loading space serving the residential use located within the same building as the non-residential use.
4.14.2.X.18	Within all lands in this zone, the minimum number of non-residential loading spaces required for a building is the largest number of loading spaces required for any one of the non-residential uses within the building. These loading spaces may be shared on a non-exclusive basis between multiple non-residential uses located within the same building.

4.14.2.X	Exception: RM9-X Zone B		
In a RM9-X Zone B the permitted <b>uses</b> and applicable regulations shall be as specified for a RM9 zone except that the following <b>uses/regulations</b> shall apply			
<b>Additional Permitted Uses</b>			
4.14.2.X.1	The following additional uses shall be permitted:  (1) <b>Townhouse dwelling</b> (2) <b>Street Townhouse dwelling</b> (3) <b>Semi-detached dwelling</b> (4) <b>Parking Lot</b> (5) Sales Centre		
<b>Regulations</b>			
4.14.2.X.2	The maximum <b>floor space index</b> does not apply. The following maximum <b>gross floor area</b> applies to the entire Port Credit West Village Area as identified in Schedule 3.  405,000m <sup>2</sup>		
4.14.2.X.3.1	Maximum height for <b>buildings</b> with a flat roof shall be measured from established grade to the highest point of a flat roof but shall not include mechanical penthouses, stairways, and structures providing access to roof tops.		
4.14.2.X.3.2	Maximum height for <b>buildings</b> with a sloped roof shall be measured from established grade to the mean height level between the eaves and ridge of a sloped roof but shall not include mechanical penthouses, stairways, and structures providing access to roof tops.		
4.14.2.X.3.	Established grade means, with reference to a <b>building, structure</b> or part thereof, the average elevation from the finished grade along the <b>front lot line</b> , and when used with reference to a <b>street</b> , means the elevation of the <b>street</b> , established by the Municipality or other designated authority.		
4.14.2.X.3.4	The units with frontages on Mississauga Road South as identified in Schedule 2 are subject to a maximum height of 2.5 <b>storeys</b> .		

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4.14.2.X.4	Minimum Front and Exterior Side Yard	4.0m
4.14.2.X.5	Minimum Interior Side Yard	3.0m
4.14.2.X.5.1	Where a <b>horizontal multiple dwelling</b> has a <b>height</b> between 0.0m and 10.0m and any portion of the <b>interior lot line</b> abuts a zone permitting <b>detached</b> and/or <b>semi-detached dwellings</b> .	4.0m
4.14.2.X.5.2	Where a <b>horizontal multiple dwelling</b> has a <b>height</b> greater than 10.0m and any portion of the <b>interior lot line</b> abuts a zone permitting <b>detached</b> and/or <b>semi-detached dwellings</b> .	4.0m
4.14.2.X.6	Minimum Rear Yard	3.0m
4.14.2.X.6.	Where a <b>rear lot line</b> , or any portion thereof, abuts a zone permitting an <b>apartment, townhouse, street townhouse, townhouse on a CEC-private road</b> , and/or <b>horizontal multiple dwelling</b> , and/or an Institutional, Office, Commercial, Employment, or Utility Zone.	4.0m
<b>MAXIMUM ENCROACHMENTS INTO REQUIRED YARDS</b>		
4.14.2.X.7.1	A <b>porch</b> inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the <b>horizontal multiple dwelling</b> .	3.0m
4.14.2.X.7.2	An awning, window, <b>chimney</b> , pilaster or corbel	0.9m
4.14.2.X.7.3	A <b>deck</b> , inclusive of stairs, <b>balcony</b> or awning, attached to a rear wall	4.5m
4.14.2.X.7.4	A <b>wing wall</b> attached to a <b>horizontal multiple dwelling</b>	7.5m
<b>MINIMUM INTERNAL SETBACKS</b>		
4.14.2.X.8.1	From a <b>horizontal multiple dwelling</b> to an <b>internal road</b> , sidewalk or visitor <b>parking space</b>	4.0m
4.14.2.X.8.2	From an awning, window, <b>chimney</b> , pilaster or corbel to an <b>internal road</b> or sidewalk	3.4m
4.14.2.X.8.3	From a rear wall of a <b>horizontal multiple dwelling</b> to a rear wall of another dwelling	12.0m
4.14.2.X.8.4	From a side wall of a <b>horizontal multiple dwelling</b> to an <b>internal road</b>	4.0m
4.14.2.X.8.5	From a side wall of a <b>horizontal multiple dwelling</b> to an abutting visitor <b>parking space</b>	4.0m
<b>ATTACHED GARAGE, PARKING AND DRIVEWAY</b>		
4.14.2.X.9.1	Minimum <b>Parking Spaces</b>	yes (1) (2) (3)
4.14.2.X.9.2	Minimum Visitor <b>Parking Spaces</b>	yes (1)
4.14.2.X.9.3	Minimum Bicycle <b>Parking Spaces</b>	yes (4)
<b>PARKING AREAS AND PARKING STRUCTURE SETBACKS</b>		
4.14.2.X.10.1	Minimum setback of a <b>parking structure</b> constructed above or partially above finished grade to any <b>lot line</b>	2.8m
4.14.2.X.10.2	Minimum setback of a <b>parking structure</b> constructed completely below finished grade to any <b>lot line</b>	0.0m
4.14.2.X.10.3	A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.	
<b>INTERNAL ROADS, AISLES AND SIDEWALKS</b>		
4.14.2.X.11	Minimum width of an <b>internal road/aisle</b>	6.0m

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<b>MINIMUM AMENITY AREA AND LANDSCAPED AREA</b>	
4.14.2.X.12.1	Minimum <b>Landscaped Area</b> 30% of lot area
4.14.2.X.12.2	The provisions 14.2 and 14.3 of Table 4.14.1 contained within Part 4 of this By-law shall not apply.
<b>ADDITIONAL PROVISIONS</b>	
4.14.2.X.13	A temporary sales centre may be permitted for up to a period of 15 years from the date of the passing of this by-law.
4.14.2.X.14	Notwithstanding the provisions of Article 2.1.3.1 contained within Part 2 of this By-law, a lot may have frontage on a CEC-Private Road.
4.14.2.X.15	The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.
4.14.2.X.16	The required number of loading spaces for uses within all lands in this zone shall be provided in accordance with Article 3.1.4 of City of Mississauga Zoning By-law 0225-2007. Additionally, for all uses within this zone, the requirement of one non-residential loading space shall be satisfied by the provision of a non-exclusive loading space serving the residential use located within the same building as the non-residential use.
4.14.2.X.17	Within all lands in this zone, the minimum number of non-residential loading spaces required for a building is the largest number of loading spaces required for any one of the non-residential uses within the building. These loading spaces may be shared on a non-exclusive basis between multiple non-residential uses located within the same building.

4.14.2.X	Exception: RM9-X Zone C		
In a RM9-X Zone C the permitted <b>uses</b> and applicable regulations shall be as specified for a RM9 zone except that the following <b>uses</b> /regulations shall apply			
<b>Additional Permitted Uses</b>			
4.14.2.X.1	The following additional uses shall be permitted:  (1) <b>Townhouse dwelling</b> (2) <b>Street Townhouse dwelling</b> (3) <b>Long-term care dwelling</b> (4) <b>Retirement dwelling</b> (5) <b>Home occupation</b> (6) Sales Centre (7) All uses permitted in C4 zone - Mainstreet Commercial		
<b>Regulations</b>			
4.14.2.X.2	The maximum <b>floor space index</b> does not apply. The following maximum <b>gross floor area</b> applies to the entire Port Credit West Village Area as identified in Schedule 3. <div>405,000m<sup>2</sup></div>		
4.14.2.X.3.1	Maximum height for <b>buildings</b> with a flat roof shall be measured from established grade to the highest point of a flat roof but shall not include mechanical penthouses, stairways, and structures providing access to roof tops.		
4.14.2.X.3.2	Maximum height for <b>buildings</b> with a sloped roof shall be measured from established grade to the mean height level between the eaves and ridge of a sloped roof but shall not include		

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	mechanical penthouses, stairways, and structures providing access to roof tops.	
4.14.2.X.3.3	Established grade means, with reference to a <b>building, structure</b> or part thereof, the average elevation from the finished grade along the <b>front lot line</b> , and when used with reference to a <b>street</b> , means the elevation of the <b>street</b> , established by the Municipality or other designated authority.	
4.14.2.X.4	Minimum Front and Exterior Side Yard	0.0m
4.14.2.X.5	Minimum Interior Side Yard	3.0m
4.14.2.X.5.1	Where a <b>horizontal multiple dwelling</b> has a <b>height</b> between 0.0m and 10.0m and any portion of the <b>interior lot line</b> abuts a zone permitting <b>detached</b> and/or <b>semi-detached dwellings</b> .	4.0m
4.14.2.X.5.2	Where a <b>horizontal multiple dwelling</b> has a <b>height</b> greater than 10.0m and any portion of the <b>interior lot line</b> abuts a zone permitting <b>detached</b> and/or <b>semi-detached dwellings</b> .	4.0m
4.14.2.X.6	Minimum Rear Yard	3.0m
4.14.2.X.6.1	Where a <b>rear lot line</b> , or any portion thereof, abuts a zone permitting an <b>apartment, townhouse, street townhouse, townhouse on a CEC-private road</b> , and/or <b>horizontal multiple dwelling</b> , and/or an Institutional, Office, Commercial, Employment, or Utility Zone.	4.0m
<b>MAXIMUM ENCROACHMENTS INTO REQUIRED YARDS</b>		
4.14.2.X.7.1	A <b>porch</b> inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the <b>horizontal multiple dwelling</b> .	3.0m
4.14.2.X.7.2	An awning, window, <b>chimney</b> , pilaster or corbel	0.9m
4.14.2.X.7.3	A <b>deck</b> , inclusive of stairs, <b>balcony</b> or awning, attached to a rear wall	4.5m
4.14.2.X.7.4	A <b>wing wall</b> attached to a <b>horizontal multiple dwelling</b>	7.5m
<b>MINIMUM INTERNAL SETBACKS</b>		
4.14.2.X.8.1	From a <b>horizontal multiple dwelling</b> to an <b>internal road</b> , sidewalk or visitor <b>parking space</b>	4.0m
4.14.2.X.8.2	From an awning, window, <b>chimney</b> , pilaster or corbel to an <b>internal road</b> or sidewalk	3.4m
4.14.2.X.8.3	From a rear wall of a <b>horizontal multiple dwelling</b> to a rear wall of another dwelling	12.0m
4.14.2.X.8.4	From a side wall of a <b>horizontal multiple dwelling</b> to an <b>internal road</b>	4.0m
4.14.2.X.8.5	From a side wall of a <b>horizontal multiple dwelling</b> to an abutting visitor <b>parking space</b>	4.0m
<b>ATTACHED GARAGE, PARKING AND DRIVEWAY</b>		
4.14.2.X.9.1	Minimum <b>Parking Spaces</b>	yes (1) (2) (3)
4.14.2.X.9.2	Minimum Visitor <b>Parking Spaces</b>	yes (1)
4.14.2.X.9.3	Minimum Bicycle <b>Parking Spaces</b>	yes (4)
<b>PARKING AREAS AND PARKING STRUCTURE SETBACKS</b>		
4.14.2.X.10.1	Minimum setback of a <b>parking structure</b> constructed above or partially above finished grade to any <b>lot line</b>	2.8m
4.14.2.X.10.2	Minimum setback of a <b>parking structure</b> constructed completely below finished grade to any <b>lot line</b>	0.0m
4.14.2.X.10.3	A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.	

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4.14.2.X.10.4	A surface parking lot is permitted provided it is not located between buildings facing a front yard and Lakeshore Road West.
<b>INTERNAL ROADS, AISLES AND SIDEWALKS</b>	
4.14.2.X.11	Minimum width of an <b>internal road/aisle</b> 6.0m
<b>MINIMUM AMENITY AREA AND LANDSCAPED AREA</b>	
4.14.2.X.12.1	Minimum <b>Landscaped Area</b> 30% of lot area
4.14.2.X.12.2	The provisions 14.2 and 14.3 of Table 4.14.1 contained within Part 4 of this By-law shall not apply.
<b>ADDITIONAL PROVISIONS</b>	
4.14.2.X.13	A temporary sales centre may be permitted for up to a period of 15 years from the date of the passing of this by-law.
4.14.2.X.14	Notwithstanding the provisions of Article 2.1.3.1 contained within Part 2 of this By-law, a lot may have frontage on a CEC-Private Road.
4.14.2.X.15	The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.
4.14.2.X.16	Any <b>building</b> or <b>structure</b> facing Lakeshore Road West will not contain residential <b>uses</b> within a minimum of 10m from the front lot line at-grade unless such uses are part of a live-work unit.
4.14.2.X.17	The required number of loading spaces for uses within all lands in this zone shall be provided in accordance with Article 3.1.4 of City of Mississauga Zoning By-law 0225-2007. Additionally, for all uses within this zone, the requirement of one non-residential loading space shall be satisfied by the provision of a non-exclusive loading space serving the residential use located within the same building as the non-residential use.
4.14.2.X.18	Within all lands in this zone, the minimum number of non-residential loading spaces required for a building is the largest number of loading spaces required for any one of the non-residential uses within the building. These loading spaces may be shared on a non-exclusive basis between multiple non-residential uses located within the same building.
4.14.2.X.19	No formal loading spaces are required for commercial live/work uses located within RM9-X Zone C.

4.15.6.X	Exception: RA5-X		
In a RA5-X zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA5 zone except that the following <b>uses/regulations</b> shall apply			
<b>Additional Permitted Uses</b>			
4.15.6.X.1	The following additional uses shall be permitted:		
	(1) All uses permitted in C2 zone - Neighbourhood Commercial are permitted at-grade		
	(2) <b>Parking Lot</b>		
	(3) Sales Centre		

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(4) <b>Convenience Retail and Service Kiosk</b>		
<b>Regulations</b>		
4.15.6.X.2	The maximum <b>floor space index</b> does not apply. The following maximum <b>gross floor area</b> applies to the entire Port Credit West Village Area as identified in Schedule 3.	405,000m <sup>2</sup>
4.15.6.X.3	Maximum <b>Height</b>	83m & 26 storeys
<b>MINIMUM FRONT AND EXTERIOR SIDEYARDS</b>		
4.15.6.X.4.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	4.0m
4.15.6.X.4.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	4.0m
4.15.6.X.4.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	4.0m
4.15.6.X.4.4	For that portion of the dwelling with a <b>height</b> greater than 26.0m	6.0m
<b>MINIMUM INTERIOR SIDE YARD</b>		
4.15.6.X.5.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	4.0m
4.15.6.X.5.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	4.0m
4.15.6.X.5.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	4.0m
4.15.6.X.5.4	For that portion of the dwelling with a height greater than 26.0m	6.0m
4.15.6.X.5.5	Where an <b>interior side lot line</b> , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof	4.0m
<b>MINIMUM REAR YARD</b>		
4.15.6.X.6.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	4.0m
4.15.6.X.6.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	4.0m
4.15.6.X.6.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	4.0m
4.15.6.X.6.4	For that portion of the dwelling with a <b>height</b> greater than 26.0m	6.0m
4.15.6.X.6.5	Where an <b>rear lot line</b> , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof	4.0m
<b>ENCROACHMENTS AND PROJECTIONS</b>		
4.15.6.X.7.1	Maximum encroachment of a <b>balcony</b> located above the <b>first storey</b> , sunroom, window,	



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	<b>chimney</b> , pilaster, cornice, balustrade or roof eaves into a required <b>yard</b>	1.8m
4.15.6.X.7.2	Maximum projection of a <b>balcony</b> located above the <b>first storey</b> measured from the outermost face or faces of the <b>building</b> from which the <b>balcony</b> projects	1.8m
<b>MINIMUM ABOVE GRADE SEPARATION BETWEEN BUILDINGS</b>		
4.15.6.X.8.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	6.0m
4.15.6.X.8.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	6.0m
4.15.6.X.8.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	6.0m
<b>PARKING, LOADING, SERVICING AREA AND PARKING STRUCTURES</b>		
4.15.6.X.9.1	Minimum <b>Parking Spaces</b>	yes (1) (2) (3)
4.15.6.X.9.2	Minimum Bicycle Parking Spaces	yes (4)
4.15.6.X.9.3	Minimum setback from surface <b>parking spaces</b> or <b>aisles</b> to a <b>street line</b>	4.0m
4.15.6.X.9.4	Minimum setback from a <b>parking structure</b> above or partially above finished grade to any <b>lot line</b>	4.0m
4.15.6.X.9.5	Minimum setback from a <b>parking structure</b> completely below finished grade, inclusive of external access stairwells, to any <b>lot line</b>	0.0m
4.15.6.X.9.6	A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.	
4.15.6.X.9.7	The required number of loading spaces for uses within all lands in this zone shall be provided in accordance with Article 3.1.4 of City of Mississauga Zoning By-law 0225-2007. Additionally, for all uses within this zone, the requirement of one non-residential loading space shall be satisfied by the provision of a non-exclusive loading space serving the residential use located within the same building as the non-residential use.	
4.15.6.X.9.8	Within all lands in this zone, the minimum number of non-residential loading spaces required for a building is the largest number of loading spaces required for any one of the non-residential uses within the building. These loading spaces may be shared on a non-exclusive basis between multiple non-residential uses located within the same building.	
<b>MINIMUM LANDSCAPED AREA, LANDSCAPED BUFFER, AND AMENITY AREA</b>		
4.15.6.X.10.1	Minimum <b>Landscaped Area</b>	30% of the lot area
4.15.6.X.10.2	Minimum depth of a <b>landscaped buffer</b> abutting a <b>lot line</b> that is a <b>street line</b> and/or abutting lands with an Open Space, Greenlands and/or a Residential Zone with the exception of an <b>Apartment Dwelling Zone</b>	4.0m
<b>ADDITIONAL PROVISIONS</b>		
4.15.6.X.11	A temporary sales centre may be permitted for up to a period of 15 years from the date of the passing of this by-law.	
4.15.6.X.12	Notwithstanding the provisions of Article 2.1.3.1 contained within Part 2 of this By-law, a lot may have frontage on a CEC-Private Road.	
4.15.6.X.13	The provisions of Subsection 2.1.2 contained within Part 2 of this By-law shall not apply.	
4.15.6.X.14	The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.	

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4.15.5.X	Exception: RA4-X		
In a RA4-X zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA4 zone except that the following <b>uses/regulations</b> shall apply			
<b>Additional Permitted Uses</b>			
4.15.5.X.1	The following additional uses shall be permitted:  (1) <b>Parking Lot</b> (2) Sales Centre (3) All uses permitted in C2 zone - Neighbourhood Commercial are permitted at-grade (4) <b>Convenience Retail and Service Kiosk</b>		
<b>Regulations</b>			
4.15.5.X.2	The maximum <b>floor space index</b> does not apply. The following maximum <b>gross floor area</b> applies to the entire Port Credit West Village Area as identified in Schedule 3. <div>405,000m<sup>2</sup></div>		
4.15.5.X.3	Maximum <b>Height</b>	59m & 18 storeys	
<b>MINIMUM FRONT AND EXTERIOR SIDEYARDS</b>			
4.15.5.X.4.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	4.0m	
4.15.5.X.4.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	4.0m	
4.15.5.X.4.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	4.0m	
4.15.5.X.4.4	For that portion of the dwelling with a height greater than 26.0m	6.0m	
<b>MINIMUM INTERIOR SIDE YARD</b>			
4.15.5.X.5.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	4.0m	
4.15.5.X.5.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	4.0m	
4.15.5.X.5.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	4.0m	
4.15.5.X.5.4	For that portion of the dwelling with a <b>height</b> greater than 26.0m	6.0m	
4.15.5.X.5.5	Where an <b>interior side lot line</b> , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof <div>4.0m</div>		
<b>MINIMUM REAR YARD</b>			
4.15.5.X.6.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	4.0m	
4.15.5.X.6.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	4.0m	
4.15.5.X.6.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	4.0m	

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4.15.5.X.6.4	For that portion of the dwelling with a height greater than 26.0m	6.0m
4.15.5.X.6.5	Where an <b>rear lot line</b> , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof	4.0m
<b>ENCROACHMENTS AND PROJECTIONS</b>		
4.15.5.X.7.1	Maximum encroachment of a <b>balcony</b> located above the <b>first storey</b> , sunroom, window, <b>chimney</b> , pilaster, cornice, balustrade or roof eaves into a required <b>yard</b>	1.8m
4.15.5.X.7.2	Maximum projection of a <b>balcony</b> located above the <b>first storey</b> measured from the outermost face or faces of the <b>building</b> from which the <b>balcony</b> projects	1.8m
<b>MINIMUM ABOVE GRADE SEPARATION BETWEEN BUILDINGS</b>		
4.15.5.X.8.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	6.0m
4.15.5.X.8.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	6.0m
4.15.5.X.8.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	6.0m
<b>PARKING, LOADING, SERVICING AREA AND PARKING STRUCTURES</b>		
4.15.5.X.9.1	Minimum <b>Parking Spaces</b>	yes (1) (2) (3)
4.15.5.X.9.2	Minimum Bicycle Parking Spaces	yes (4)
4.15.5.X.9.3	Minimum setback from surface <b>parking spaces</b> or <b>aisles</b> to a <b>street line</b>	4.0m
4.15.5.X.9.4	Minimum setback from a <b>parking structure</b> above or partially above finished grade to any <b>lot line</b>	4.0m
4.15.5.X.9.5	Minimum setback from a <b>parking structure</b> completely below finished grade, inclusive of external access stairwells, to any <b>lot line</b>	0.0m
4.15.5.X.9.6	A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.	
4.15.5.X.9.7	The required number of loading spaces for uses within all lands in this zone shall be provided in accordance with Article 3.1.4 of City of Mississauga Zoning By-law 0225-2007. Additionally, for all uses within this zone, the requirement of one non-residential loading space shall be satisfied by the provision of a non-exclusive loading space serving the residential use located within the same building as the non-residential use.	
4.15.5.X.9.8	Within all lands in this zone, the minimum number of non-residential loading spaces required for a building is the largest number of loading spaces required for any one of the non-residential uses within the building. These loading spaces may be shared on a non-exclusive basis between multiple non-residential uses located within the same building.	
<b>MINIMUM LANDSCAPED AREA, LANDSCAPED BUFFER, AND AMENITY AREA</b>		
4.15.5.X.10.1	Minimum Landscaped Area	30% of the lot area
4.15.5.X.10.2	Minimum depth of a <b>landscaped buffer</b> abutting a <b>lot line</b> that is a <b>street line</b> and/or abutting lands with an Open Space, Greenlands and/or a Residential Zone with the exception of an <b>Apartment Dwelling Zone</b>	4.0m
<b>ADDITIONAL PROVISIONS</b>		

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4.15.5.X.11	A temporary sales centre may be permitted for up to a period of 15 years from the date of the passing of this by-law.
4.15.5.X.12	Notwithstanding the provisions of Article 2.1.3.1 contained within Part 2 of this By-law, a lot may have frontage on a CEC-Private Road.
4.15.5.X.13	The provisions of Subsection 2.1.2 contained within Part 2 of this By-law shall not apply.
4.15.5.X.14	The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.

4.15.4.X	Exception: RA3-X		
In a RA3-X zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses</b> /regulations shall apply			
<b>Additional Permitted Uses</b>			
4.15.4.X.1	The following additional uses shall be permitted:  (1) All uses permitted in C2 zone - Neighbourhood Commercial are permitted at-grade (2) <b>Parking Lot</b> (3) Sales Centre (4) <b>Convenience Retail and Service Kiosk</b>		
<b>Regulations</b>			
4.15.4.X.2	The maximum <b>floor space index</b> does not apply. The following maximum <b>gross floor area</b> applies to the entire Port Credit West Village Area as identified in Schedule 3. <div>405,000m<sup>2</sup></div>		
4.15.4.X.3	Maximum <b>Height</b>	35m & 10 storeys	
<b>MINIMUM FRONT AND EXTERIOR SIDEYARDS</b>			
4.15.4.X.4.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	4.0m	
4.15.4.X.4.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	4.0m	
4.15.4.X.4.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	4.0m	
4.15.4.X.4.4	For that portion of the dwelling with a <b>height</b> greater than 26.0m	6.0m	
<b>MINIMUM INTERIOR SIDE YARD</b>			
4.15.4.X.5.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	4.0m	
4.15.4.X.5.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	4.0m	
4.15.4.X.5.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	4.0m	
4.15.4.X.5.4	For that portion of the dwelling with a <b>height</b> greater than 26.0m	6.0m	
4.15.4.X.5.5	Where an <b>interior side lot line</b> , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination		

## DRAFT ZONING BY-LAW AMENDMENT

	of zones thereof	4.0m
<b>MINIMUM REAR YARD</b>		
4.15.4.X.6.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	4.0m
4.15.4.X.6.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	4.0m
4.15.4.X.6.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	4.0m
4.15.4.X.6.4	For that portion of the dwelling with a <b>height</b> greater than 26.0m	6.0m
4.15.4.X.6.5	Where an <b>rear lot line</b> , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof	4.0m
<b>ENCROACHMENTS AND PROJECTIONS</b>		
4.15.4.X.7.1	Maximum encroachment of a <b>balcony</b> located above the <b>first storey</b> , sunroom, window, <b>chimney</b> , pilaster, cornice, balustrade or roof eaves into a required <b>yard</b>	1.8m
4.15.4.X.7.2	Maximum projection of a <b>balcony</b> located above the <b>first storey</b> measured from the outermost face or faces of the <b>building</b> from which the <b>balcony</b> projects	1.8m
<b>MINIMUM ABOVE GRADE SEPARATION BETWEEN BUILDINGS</b>		
4.15.4.X.8.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0m	6.0m
4.15.4.X.8.2	For that portion of the dwelling with a <b>height</b> greater than 13.0m and less than or equal to 20.0m	6.0m
4.15.4.X.8.3	For that portion of the dwelling with a <b>height</b> greater than 20.0m and less than or equal to 26.0m	6.0m
<b>PARKING, LOADING, SERVICING AREA AND PARKING STRUCTURES</b>		
4.15.4.X.9.1	Minimum <b>Parking Spaces</b>	yes (1) (2) (3)
4.15.4.X.9.2	Minimum Bicycle Parking Spaces	yes (4)
4.15.4.X.9.3	Minimum setback from surface <b>parking spaces</b> or <b>aisles</b> to a <b>street line</b>	4.0m
4.15.4.X.9.4	Minimum setback from a <b>parking structure</b> above or partially above finished grade to any <b>lot line</b>	4.0m
4.15.4.X.9.5	Minimum setback from a <b>parking structure</b> completely below finished grade, inclusive of external access stairwells, to any <b>lot line</b>	0.0m
4.15.4.X.9.6	A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.	
4.15.4.X.9.7	The required number of loading spaces for uses within all lands in this zone shall be provided in accordance with Article 3.1.4 of City of Mississauga Zoning By-law 0225-2007. Additionally, for all uses within this zone, the requirement of one non-residential loading space shall be satisfied by the provision of a non-exclusive loading space serving the residential use located within the same building as the non-residential use.	
4.15.4.X.9.8	Within all lands in this zone, the minimum number of non-residential loading spaces required for a building is the largest number of loading spaces required for any one of the non-residential uses within the building. These loading spaces may be shared on a non-exclusive basis between multiple non-residential uses located within the same building.	

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<b>MINIMUM LANDSCAPED AREA, LANDSCAPED BUFFER, AND AMENITY AREA</b>		
4.15.4.X.10.1	Minimum <b>Landscaped Area</b>	30% of the lot area
4.15.4.X.10.2	Minimum depth of a <b>landscaped buffer</b> abutting a <b>lot line</b> that is a <b>street line</b> and/or abutting lands with an Open Space, Greenlands and/or a Residential Zone with the exception of an <b>Apartment Dwelling Zone</b>	4.0m
<b>ADDITIONAL PROVISIONS</b>		
4.15.4.X.11	A temporary sales centre may be permitted for up to a period of 15 years from the date of the passing of this by-law.	
4.15.4.X.12	Notwithstanding the provisions of Article 2.1.3.1 contained within Part 2 of this By-law, a lot may have frontage on a CEC-Private Road.	
4.15.4.X.13	The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.	
4.15.4.X.14	The provisions of Subsection 2.1.2 contained within Part 2 of this By-law shall not apply.	

6.2.5.X	Exception: C4- X		
In a C4-X zone the permitted <b>uses</b> and applicable regulations shall be as specified for a C4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
6.2.5.X.1	The following additional uses shall be permitted:  (1) <b>Long-term care dwelling</b> (2) <b>Hospice dwelling</b> (3) <b>Retirement dwelling</b> (4) <b>Convenience Retail and Service Kiosk</b> (5) <b>Outdoor patio accessory to a restaurant, take-out restaurant, daycare or office</b>		
<b>Regulations</b>			
6.2.5.X.2	Maximum <b>Front Yard</b>		4.0m
6.2.5.X.3	Maximum <b>Exterior Side Yard</b>		6.0m
6.2.5.X.4	Minimum <b>Interior Side Yard - Lot</b> abutting a Residential Zone		4.0m
6.2.5.X.5	The encroachments and projections as permitted in the RA4 zone will apply.		
6.2.5.X.6	Notwithstanding 6.2.5.X.5, maximum encroachment of a balcony located above the first storey, sunroom, window, chimney, pilaster, cornice, balustrade or roof eaves into a required yard		1.8m
6.2.5.X.7	Notwithstanding 6.2.5.X.5, maximum projection of a balcony located above the first storey measured from the outermost face or faces of the building from which the balcony projects		1.8m
6.2.5.X.8	Minimum depth of a <b>landscaped buffer</b> measured from any other <b>lot line</b>		1.5m
6.2.5.X.9	Minimum <b>Height</b>		7.5m

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6.2.5.X.10	The minimum <b>height</b> provision outlined in 6.2.5.X.10 applies only to <b>buildings</b> or <b>structures</b> which front on Lakeshore Road West.
6.2.5.X.11	Maximum <b>Height</b> Flat Roof 15.0m and 3 storeys
6.2.5.X.12	Minimum <b>Parking Spaces</b> yes (1) (2) (3)
6.2.5.X.13	Minimum Bicycle Parking Spaces yes (4)
6.2.5.X.14	No <b>dwelling units</b> will be located on the first or second floor.
6.2.5.X.15	Within the area outlined in Schedule 4, a minimum of 1000m <sup>2</sup> of privately-owned publicly accessible spaces will be provided. A portion or all of this requirement for privately-owned publicly accessible spaces can also be provided in an RA3 zone immediately abutting the area outlined in Schedule 4. The 1000m <sup>2</sup> requirement may be reduced provided an equivalent amount of privately-owned publicly accessible spaces is provided elsewhere within the area identified in Schedule 3.
6.2.5.X.16	A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.
6.2.5.X.17	A temporary sales centre may be permitted for up to a period of 15 years from the date of the passing of this by-law.
6.2.5.X.18	The provisions of Subsection 2.1.2 contained within Part 2 of this By-law shall not apply.
6.2.5.X.19	The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.
6.2.5.X.20	A temporary on-site surface pond will be permitted within the area identified in Schedule 5 for shared stormwater servicing purposes for a period up to 5 years from the date of the passing of this by-law.
6.2.5.X.21	The required number of loading spaces for uses within all lands in this zone shall be provided in accordance with Article 3.1.4 of City of Mississauga Zoning By-law 0225-2007. Additionally, for all uses within this zone, the requirement of one non-residential loading space shall be satisfied by the provision of a non-exclusive loading space serving the residential use located within the same building as the non-residential use.
6.2.5.X.22	Within all lands in this zone, the minimum number of non-residential loading spaces required for a building is the largest number of loading spaces required for any one of the non-residential uses within the building. These loading spaces may be shared on a non-exclusive basis between multiple non-residential uses located within the same building.
6.2.5.X.23	Within this zone, required non-residential loading spaces are not required to be located within the same building as the non-residential use it is serving, as long as the loading space serving the use is located within the C4-X zone. Minimum loading space requirements within the C4-X zone are to be calculated based on aggregate non-residential floor area within the zone, as opposed to on a building-by-building basis.

12.2.3.X	Exception: I-X		
In a I-X zone the permitted <b>uses</b> and applicable regulations shall be as specified for a I zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			

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12.2.3.X.1	The following additional uses shall be permitted:  (1) All uses permitted in C4 zone (2) Art Gallery (3) Museum (4) Centre for the Performing Arts (5) Sales Centre (6) Real Estate Office (7) Outdoor patio accessory to a restaurant, <b>take-out restaurant, daycare or office</b>		
<b>Regulations</b>			
12.2.3.X.2	Minimum <b>Front Yard</b>		4.0m
12.2.3.X.3	Minimum <b>Exterior Side Yard</b>		4.0m
12.2.3.X.4	Minimum <b>Interior Side Yard</b>		3.0m
12.2.3.X.5	The minimum <b>rear yard</b> requirement shall not apply.		
12.2.3.X.6	Minimum <b>Landscaped Buffer</b>		3.0m
12.2.3.X.7	A minimum of 30% of the zone area will be provided as privately-owned publicly accessible spaces.		
12.2.3.X.8	Minimum <b>Parking Spaces</b>		yes (1) (2) (3)
12.2.3.X.9	Minimum Bicycle Parking Spaces		yes (4)
12.2.3.X.10	The required number of loading spaces for uses within all lands in this zone shall be provided in accordance with Article 3.1.4 of City of Mississauga Zoning By-law 0225-2007. Additionally, for all uses within this zone, the requirement of one non-residential loading space shall be satisfied by the provision of a non-exclusive loading space serving the residential use located within the same building as the non-residential use.		
12.2.3.X.11	Within all lands in this zone, the minimum number of non-residential loading spaces required for a building is the largest number of loading spaces required for any one of the non-residential uses within the building. These loading spaces may be shared on a non-exclusive basis between multiple non-residential uses located within the same building.		
12.2.3.X.12	Apart from a lobby restricted to 20% of the ground floor gross floor area of a <b>building or structure</b> , no residential <b>uses</b> will be permitted at-grade.		
12.2.3.X.13	No <b>dwelling units</b> will be located on the first or second floor.		
12.2.3.X.14	A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.		
12.2.3.X.15	A temporary sales centre may be permitted for up to a period of 15 years from the date of the passing of this by-law.		
12.2.3.X.16	The provisions of Subsection 2.1.2 contained within Part 2 of this By-law shall not apply.		
12.2.3.X.17	The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.		

9.2.X	Exception: OS1-X		
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In a OS1-X zone the permitted <b>uses</b> and applicable regulations shall be as specified for a OS1 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			
9.2.2.X.1		The following additional uses shall be permitted:	
		(1) <b>Parking lot</b> (2) Farmers' Market (3) Outdoor patio accessory to a restaurant, <b>take-out restaurant, daycare or office</b> (4) <b>Temporary tent and/or storage</b>	
<b>Regulations</b>			
9.2.2.X.2		A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.	
9.2.2.X.3		The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.	
9.2.3.X	Exception: OS2-X		
In a OS2-X zone the permitted <b>uses</b> and applicable regulations shall be as specified for a OS2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			
9.2.3.X.1		The following additional uses shall be permitted:	
		(5) <b>Parking lot</b> (6) Farmers' Market (7) Outdoor patio accessory to a restaurant, <b>take-out restaurant, daycare or office</b> (8) <b>Temporary tent and/or storage</b>	
<b>Regulations</b>			
9.2.3.X.2		A temporary surface <b>parking lot</b> may be permitted for up to a period of 15 years from the date of the passing of this by-law.	
9.2.3.X.3		The provisions of Subsection 2.1.14 contained within Part 2 of this By-law shall not apply.	

## DRAFT ZONING BY-LAW AMENDMENT

(1) Notwithstanding the provisions of Table 3.1.2.1 contained within Part 3 of this By-law, the required number of vehicular parking spaces for **apartment dwellings, townhouse dwellings, retirement dwellings, and long term care dwellings, and apartment dwellings secured as affordable housing** in all West Village Zones are outlined in Table A – Required Residential Vehicular Parking Spaces.

**Table A – Required Residential Vehicular Parking Spaces**

Column	A	B
Line 1.0	CATEGORY	MINIMUM NUMBER OF PARKING SPACES
1.1	Resident spaces per <b>unit</b> in an <b>apartment dwelling</b> or <b>townhouse dwelling unit</b> or live-work units without access to an exclusive garage	1.00
1.2	Visitor spaces per <b>unit</b> in an <b>apartment dwelling</b> or multi-unit condominium dwelling or townhouse dwelling with or without an exclusive garage	0.15
1.3	Spaces per <b>Townhouse dwelling unit</b> with exclusive garages	2.00
1.4	Spaces per dwelling unit and bed sitting room in a retirement dwelling or long term care dwelling	0.3
1.5	Spaces per <b>apartment dwelling</b> unit secured as affordable housing	0.4

(2) Notwithstanding the provisions of Table 3.1.2.2 contained within Part 3 of this By-law, the required number of vehicular parking spaces for non-residential **uses** in all West Village Zones, where permitted, are outlined in Table B – Required Non-Residential Vehicular Parking Spaces.

**Table B – Required Non-Residential Vehicular Parking Spaces**

Column	A	B
Line 1.0	CATEGORY	MINIMUM NUMBER OF PARKING SPACES
1.1	Required number of Vehicular Parking Spaces per 100m <sup>2</sup> GFA for non-residential <b>uses</b>	3.0
1.2	There is no parking requirement for commercial uses located within a live-work unit.	N/A

## DRAFT ZONING BY-LAW AMENDMENT

(3) Notwithstanding the provisions of Table 3.1.2.3 contained within Part 3 of this By-law, the shared parking formula outlined in Table C – Mixed Use Development Shared Parking Formula will be used for the calculation of required parking for a mixed-use development in all West Village Zones.

**Table C– Mixed Use Development Shared Parking Formula**

Column	A	B	C	D	E
Line 1.0	TYPE OF USE	PERCENTAGE OF PEAK PERIOD <sup>1</sup>			
		Morning	Noon	Afternoon	Evening
1.1	Office/Medical Office	100 (10)	90 (10)	95 (10)	10 (10)
1.2	Real Estate Office	90 (50)	80 (50)	100 (50)	50 (20)
1.3	Financial Institution	70 (90)	75 (90)	100 (90)	80 (20)
1.4	Retail Store/Personal Service Establishment/Art Gallery/Museum/Repair Establishment	50 (50)	50 (75)	70 (100)	75 (10)
1.5	Restaurant/Take-out Restaurant	25 (20)	65 (90)	25 (50)	100 (100)
1.6	Hotel - Rooms	50 (70)	25 (25)	25 (25)	65 (50)
1.7	Hotel - Function Space <sup>2</sup>	95 (95)	100 (95)	90 (90)	95 (95)
1.8	Residential - Resident	90 (90)	65 (65)	90 (90)	100 (100)
1.9	Residential - Visitor	20 (20)	20 (20)	50 (60)	100 (100)

<sup>1</sup>00 indicates weekday peak period percentage, (00) indicates weekend peak period percentage.

<sup>2</sup>Hotel Function space includes restaurants, meeting rooms, banquet, and conference facilities.

## DRAFT ZONING BY-LAW AMENDMENT

(4) The required number of bicycle parking spaces for development in all West Village Zones is contained within Table D – Required Bicycle Parking Spaces.

**Table D Required Bicycle Parking Spaces**

Column	A	B
Line 1.0	CATEGORY	MINIMUM NUMBER OF PARKING SPACES <sup>1</sup>
1.1	Required number of Bicycle Parking Spaces for Staff per 100m <sup>2</sup> GFA for <b>office</b> uses	0.15
1.2	Required number of Bicycle Parking Spaces for Visitor per 100m <sup>2</sup> GFA for <b>office</b> uses	0.10
1.3	Required number of Bicycle Parking Spaces for Staff per 100m <sup>2</sup> GFA for <b>retail</b> uses	0.10
1.4	Required number of Bicycle Parking Spaces for Visitor per 100m <sup>2</sup> GFA for <b>retail</b> uses	0.25
1.5	Required number of Bicycle Parking Spaces for Staff per 100m <sup>2</sup> GFA for school/college/university uses	0.60
1.6	Required <b>number</b> of Bicycle Parking Spaces for Visitor per 100m <sup>2</sup> GFA for school/college/university uses	0.18
1.7	Required number of Bicycle Parking Spaces for Staff based on the percentage of staff for all other non-residential <b>uses</b>	4%
1.8	Required number of Bicycle Parking Spaces for Visitor based on the percentage of visitors for all other non-residential <b>uses</b>	4%
1.9	Required number of Bicycle Parking Spaces per unit for Residents in <b>apartment dwellings</b> and <b>townhouse dwellings</b>	0.70
1.10	Required number of Bicycle Parking Spaces per unit for Visitors in <b>apartment dwellings</b> and <b>townhouse dwellings</b>	0.08

<sup>1</sup>Residential bicycle parking requirements only apply to **apartment dwellings** and **townhouse dwellings** that do not have an exclusive garage



## Schedule 1 Zoning

0 50 100

Dimensions to be added following City staff review of ZBL format.





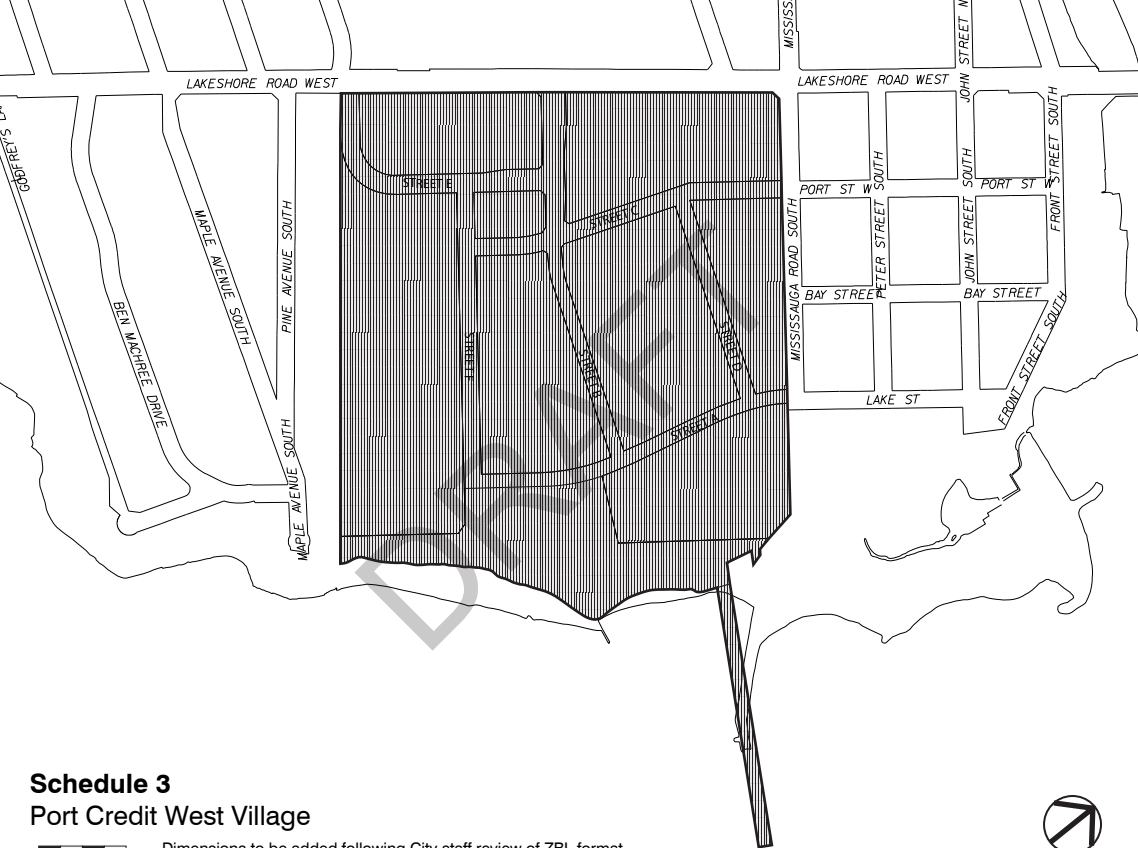
## Schedule 2

### Mississauga Road South Height Provision

0 50 100 m

Dimensions to be added following City staff review of ZBL format.





### Schedule 3

### Port Credit West Village

0 50 100 m

Dimensions to be added following City staff review of ZBL format.





## Schedule 4

### Privately-owned Publicly Accessible Spaces



Dimensions to be added following City staff review of ZBL format.







## Schedule 5 Storm Water Servicing

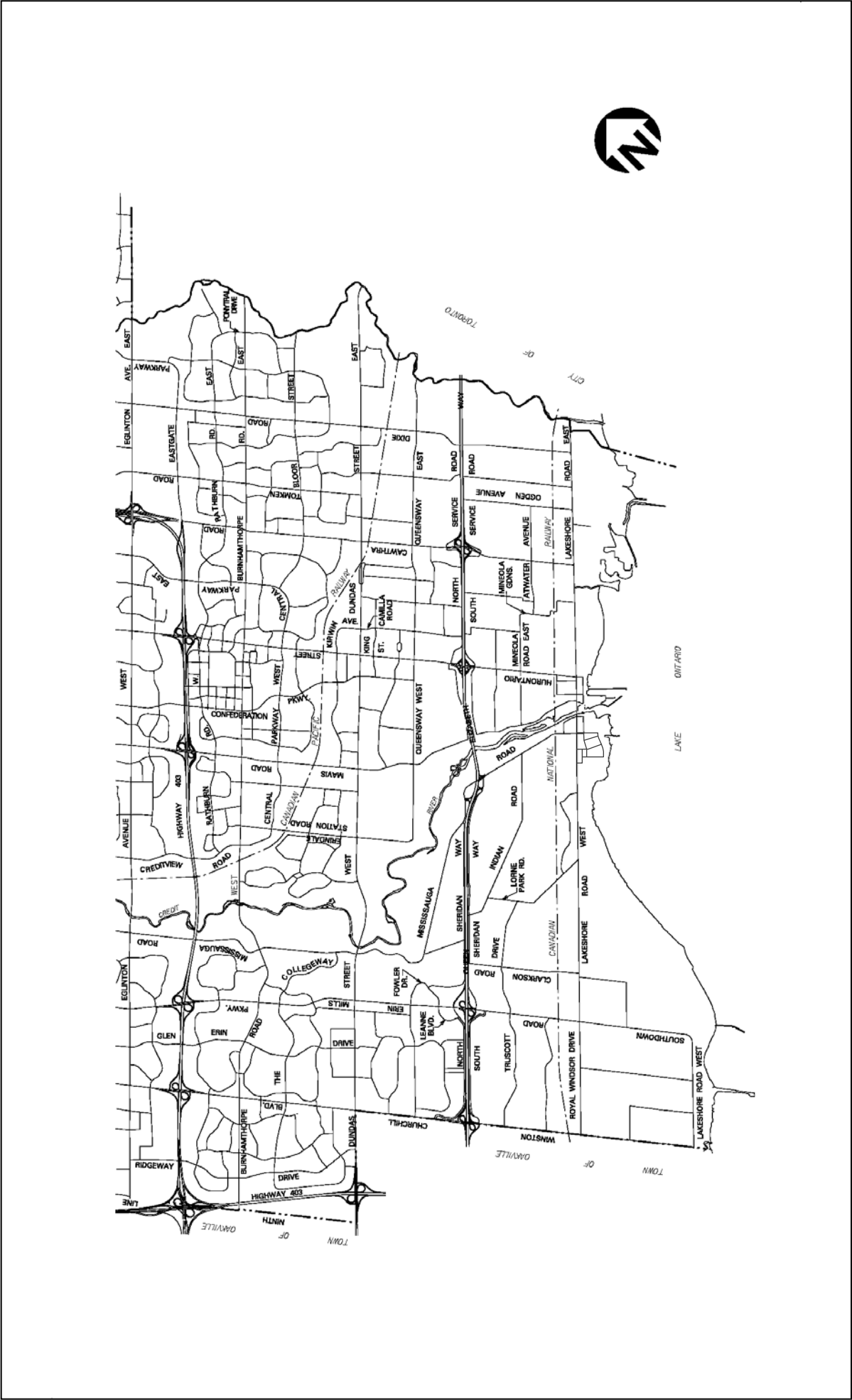
0 50 100 m

Dimensions to be added following City staff review of ZBL format.



Part 2 - General Provisions

This amended map will apply to all Schedules showing this portion of the City in Part 2 - General Provisions



Schedule 2.1.9.2(2) - Street Location Criteria  
for Private Schools and Day Cares